

GUIDE FOR PLACEMENT OF MANUFACTURED HOMES

STEVENS COUNTY LAND SERVICES PERMIT CENTER

7/11/2011

Customer Service Bulletin # **B - 5**

One part of your project is obtaining the necessary permits. Your project will be reviewed in coordination with other agencies (NE Tri-County Health District-Environmental Health and Stevens County Planning) which are responsible for regulating different aspects of the development process. The following information lets you know what steps you need to take to ensure a timely issuance of your manufactured home placement permit.

1. COMPLETED SITE PLAN/SITE PLAN ANALYSIS. A site analysis application must be submitted to the Planning Division for review. The site analysis will identify if your proposal is consistent with the County's development regulations. Be sure to show the setback distance between your manufactured home and the property lines

FAQ: Can I submit the site plan analysis at the same time I submit application for placement permit?

Answer: YES. This allows the Building Department to begin processing your application. However, your project cannot be approved until the site analysis is complete. *(Note: The review may impact the location of the home.)*

FAQ: If I am placing my home in a mobile home park, do I still need to do a site analysis?

Answer: YES. You may have to contact the owner or manager of the park for help in determining the property boundary and your home's setback to property lines. The Building Division has maps of many of the mobile home parks. We encourage the owners of the mobile home parks to do a site analysis for the entire park, but if this has not been done, then the site analysis process is required for each lot.

2. COMPLETED APPLICATION FORM. Review and complete the manufactured home placement application form. If incomplete, your application may be returned and processing will be delayed. For placement in a mobile home park, be sure to identify the park name and lot number.

For all new or newer homes, provide a copy of the manufacturer's installation/set-up instructions. The placement application also asks you to identify who will install the home. If the property owner does not intend to install the home, the installer must be licensed by the state as a "Certified Manufactured Home Installer". You will need to provide the installer's certification identification number on the placement application. This person may be a certified installer with the manufacturing company where you bought the home, or an independent certified installer.

3. PROOF/POTABLE WATER CERTIFICATION. You will need to demonstrate proof of adequate and potable water prior to issuance of your placement permit. This can be demonstrated through a certification/testing process for a private water source or by a letter from the owner/operator of an approved public water system that authorizes your hook-up. Homes being placed in approved mobile home parks do not need to provide this water hook-up authorization.

FAQ: Can I submit the placement permit application before I have my water tests?

Answer: YES. This allows the Building Division to begin processing your application. However, your placement permit cannot be issued until the water certification information is complete.

4. ADEQUATE SEWAGE DISPOSAL SYSTEM [ENVIRONMENTAL HEALTH DEPT. (509) 684-2262] You will need to obtain a permit from the NE Tri-County Health District, Environmental Health Dept. (NETCHD), for a sewage disposal system to serve your home. Contact the Environmental Health Dept. for the sewage permit application or to find out information about your existing sewage system. Please provide a copy of your septic permit, if available; this will help expedite your review.

FAQ: Can I submit the placement permit application before I have my septic permit?

Answer: YES. This allows the Building Division to begin processing your application. In most cases, the septic system approval requirements for building permits will be satisfied after test holes and soils information have been reviewed and approved by NETCHD for septic system suitability.

If your home will be served by a public sewer system, provide a letter from the operator of the system that authorizes your hook-up. Homes being placed in approved mobile home parks do not need to provide this sewer hook-up authorization.

5. **LAND USE PRELIMINARY APPROVALS [PLANNING DIVISION (509) 684-2401 Ext. 4]** The Planning Division reviews **ALL** proposed projects to determine conformance with various land use regulations. Some common issues are listed below and will be addressed during the site analysis application review. ***If you think your project may be impacted by any of these issues, contact the Planning Division for additional information.***

- Projects within 200 feet of the shoreline of any major lake, river, stream or wetland may be subject to SHORELINE and CRITICAL AREA ORDINANCE restrictions. The construction or placement in these areas of a single family residence requires that a shoreline permit exemption, or possible Critical Area Ordinance permit, be processed by the Planning Division prior to building permit or manufactured home permit issuance.
- Projects on property less than 20 acres in size will be reviewed for compliance with the county's subdivision laws.
- Projects that do not meet required setbacks or other development standards, may require a variance.
- Projects that involve more than one dwelling unit on a property or some type of commercial or business activity, may require a separate land use review and permit under Stevens County Code Title 3, Development Regulations.

6. **PROPERTY SITE ADDRESS [INFORMATION SERVICES (509) 684-7505]** A site address is required for building and sewage permit applications. If your property has not yet been issued an address by Information Services, please request an "Application for a Site Address". Be sure to clearly post your address so the jobsite can be easily found by the inspector.

7. **DRIVEWAY/ACCESS PERMIT [PUBLIC WORKS DEPT. (509) 684-4548].** Projects that are served by driveways that gain access directly from a county road must have a road access permit. If you need to develop a new driveway or improve an existing access, contact the Public Works Department to secure your permit or ask questions about the application process. If you are placing your manufactured home in a mobile home park, this driveway permit is not required. Contact the Washington State Dept. of Transportation in Spokane at (509) 324-6540 for a road approach permit to a state highway.

8. **BUILDING DIVISION APPROVALS [BUILDING DIVISION (509) 684-8325 Ext. 5]**

- The Building Division will verify your site plan for setbacks from the manufactured home to property lines and other structures.
- You will need to provide footings for the home per the manufacturer's installation instructions. (A copy of the installation/set-up instructions must be provided to the Building Division at the time of permit application.) If you do not have installation instructions from the manufacturer, provide footings per the minimum state requirements referenced herein.
- Roof snow load design **must** be a minimum of 20 pounds per square foot (psf), per HUD regulations. However, it is recommended your home be factory-built to withstand actual minimum county snow loads of 40 psf, or provide an extra roof over the home to protect it from snow, or keep snow removed from the roof.
- If the manufactured home is to be placed upon a basement, you will need to submit engineered basement plans for review and approval. These plans must include size and placement of all structural beams supporting the manufactured home. You will also have to provide a copy of the manufacturer's installation instructions so the plans examiner can verify weight loads, bearing points, etc.
- Contact Washington State Dept. of Labor & Industries (L&I) for the following:
1976 & Older Mobile Homes - A Fire Safety Inspection prior to manufactured home permit issuance.
Electrical permits - You will need to have completed the placement permit process and have a manufactured home permit number prior to authorization for connecting to utility power.
L&I Regional office in Spokane - N. 901 Monroe Street - (509) 324-2640 or 1-800-509-8847

9. **ADDITIONS, ALTERATIONS AND ENTRY DECKS/STAIRS:** Any addition that is supported by the manufactured home, or any alteration to the unit, must be inspected and approved by the Washington State Dept. of Labor and Industries. Free-standing additions, including carports, covered decks or a roof over the manufactured home, may require a separate permit from the Building Division. All manufactured homes must have permanent platforms, entry landings and approved stair access, guardrails or handrails where required. The entry approach must be built to code. A free-standing entry approach will require a separate county building permit if it includes a covered roof OR the value of its construction exceeds \$2,000. The entry deck/landing must be completed for the final inspection on the home.

10. CAN I INSTALL A WOOD HEATING STOVE IN MY MANUFACTURED HOME? You will need to get a permit to install a wood stove from the Washington State Dept. of Labor & Industries.

11. HOW MUCH ARE PLACEMENT PERMIT FEES? Fees are charged per number of sections. Single-wide is \$92.50; a double-wide is \$180.50; triple-wide is \$268.50. If the manufactured home is placed on a basement or permanent foundation, the permit fee of the basement/foundation is in addition to the manufactured home permit fee.

12. WILL MY PERMIT EVER EXPIRE? The permit will expire if it is not used within 180 days from the date of issuance. Use means that substantial progress has been made during the 180 days. Permits that have not been used may be extended (one time only) at the discretion of the Building Official. A written request for an extension must be submitted by the applicant. Keep the Building Division informed of your progress, call for a required inspection at least once every 6 months, request an extension if necessary, and your permit will remain current. If the permit does expire, and you desire to reactivate an expired permit, you could be charged half of the current fee for that permit, or at a minimum, additional inspection fees.

13. WHAT INSPECTIONS ARE REQUIRED? At a minimum, the following inspections are required. 48 hours notice is required for inspection. During the busy spring, summer and fall building season, inspectors normally have their inspection route scheduled and are on their way before 9:00 A.M.

Any lot line within 20 feet of the home; must be flagged prior to inspection (place 3' stakes at 50' intervals; tie surveyor's tape on each.)

Perimeter Footings (if required): Call before pouring! The rebar needs to be visible for inspection.

Blocking: After the manufactured home has been placed, leveled and anchored, prior to skirting, and exterior plumbing connections are completed. If the property owner did not install the home, the certified installer must make available at the job site a copy of the Certificate of Installation for the building inspector's record to verify the installation occurred under the certified installer's supervision.

Skirting/Final: When complete, final grading is done, stairs, skirting, tie-downs (anchors) etc. are installed.

14. MANUFACTURED HOME INSTALLATION GUIDELINES: For all new or newer homes, manufacturer's installation instructions must be followed, and a copy provided to the Building Division at time of application. For older homes without manufacturer's set-up instructions, the following provides an overview of the key requirements adopted by Stevens County and the State of Washington (WAC 296-150M).

FOOTINGS AND PIERS (BLOCKING):

Footings (Pads):

Construction:

- * 3-1/2"X16X16" pads or two (2) 4"X8"X16" solid concrete blocks laid with their joints parallel to the main frame longitudinal member.

Placement:

- * Evenly bedded, level and on firm, undisturbed or compacted soil (1,500 P.S.F. minimum) – free of organic vegetative material.
- * Centered directly under longitudinal members.
- * Not over 8' apart and not more than 2' from ends of main frame. Closer spacing may be required, depending on the actual weight of the home and the load-bearing capacity of the soil.

Perimeter Footings:

- If the manufacturer's installation instructions call for footings on the unit's exterior perimeter, they **must be** installed below the frost line. **The minimum acceptable distance for frost line is 30 inches below grade in Stevens County.**

Approved Manufactured Piers or Concrete Blocks:

- * Single stack of 8"X8"X16" blocks – maximum 3 blocks high at right angle to the main frame longitudinal member with no more than two (2) 2"X8"X16" wood blocks as a cap or a 4"X8"X16" solid concrete block.
- * A double stack of 8"X8"X16" blocks – maximum 5 blocks high (each course of blocks stacked at right angles to the preceding course of blocks) with wood or concrete cap.
- * Double-stacked blocks filled with 2,000 p.s.i. concrete can exceed 5 blocks (40").
- * Piers over 72" (9 blocks) or a system where over 20% of the piers exceed 40" (5 blocks) must be approved by a licensed Washington State architect or engineer.
- * Blocks must be set with cores vertical.

Plates and Shims:

- * The wood plate may not be over 2" thick and shims shall not be more than 2" thick, and at least 4" wide and 6" long. No more than two wood plates are permitted.

Vapor Barrier:

- * 4 mill polyethylene vapor barrier is required on the ground under a manufactured home. The ground cover shall be overlapped 12" and extend over the top of the footing.

Multi-Sectioned Homes:

- * Must have centerline blocking at end walls and other points of connection or support, and at both ends of any door opening 6' or more wide in an exterior wall.

Clearances:

- * At least 75% of the area under the home must have 18" clearance between the bottom of the main chassis member and ground level. In no case, shall clearance be less than 12". The crossover heat duct should not touch the ground or be compressed.

Foundations:

- * Manufactured homes placed on foundations or basements may require engineering of the design for the foundation OR approval of the manufacturer.

ANCHORING SYSTEMS:

- * All manufactured homes, including new or relocated homes, must be provided with anchoring system, either per manufacturer's instructions, licensed architect/engineer or per ANSI A225.1 standards (see attached information and diagrams).

SKIRTING/FACIA:

- * The skirting and supports must be of material not adversely affected by moisture. Any wood supports or facia which are not pressure-treated wood, must be at least 3" away from the dirt.
- * The skirting of a manufactured home shall be ventilated by mechanical means OR have ventilation openings with a net area of at least one square foot for each 300 square feet of under-floor area. The openings shall be designed to provide cross ventilation on at least two opposite sides of the home. Openings shall be covered with 1/4" corrosion-resistant wire mesh.
- * Facia shall be installed within 30 days of occupancy of the unit.

STAIRS:

- * Every exit from the home must have a set of stairs that meet code requirements. See the attached portion of the Residential Code Summary for minimum code requirements and sample illustrations for stairs and handrails.

DRYER VENT AND PRESSURE RELIEF VALVE (PRV):

- * Dryer vent and PRV must terminate outside of the skirting. The PRV vent must bend 90 degrees to the ground to avoid possible injury from steam.

14. **IS ADDITIONAL INFORMATION AVAILABLE?** There is a wide variety of handouts and manuals available at the Permit Center to assist you in understanding the various permit processes. Staff has prepared a compilation of all the building codes to assist in preparation of construction documents. It also identifies those design criteria specific to Stevens County, such as frost depth and snow load. Most handouts are free and available upon request from the Permit Center.

MANUFACTURED HOMES ANCHORING REQUIREMENTS

PER ANSI A225.1 STANDARDS

In the absence of manufacturer's installation instructions, or provisions by a licensed architect or engineer, relocated manufactured homes must be anchored in accordance with the following ANSI A225.1 Standards.

After blocking and leveling, manufactured homes need to be secured against movement by wind. All of Washington State is determined to be a "Wind Zone I" which is the lowest of the three wind zones, and refers to a wind speed of about 76 miles per hour.

Manufactured homes are normally set up with one of the following foundation systems.

Piers with Ground Anchors:

The home rests on piers of concrete block. The ground anchors in the soil are to be placed at the same angle as the resist straps or embedded in dead-men in the soil. Straps are tied to the frame, with or without over-the-top straps.

Concrete Slab or Continuous Footings:

The home rests on a concrete slab, or ribbons of concrete. The straps are tied between the frame and perimeter footers or concrete slab.

Concrete, Block or Wood Foundations as Load-Bearing, Perimeter Walls:

The home rests on exterior load bearing walls that sit on concrete footings. Straps fasten the home to the walls to resist all external forces.

ANCHORING INSTRUCTIONS

Use either the single- or double-strap method. Use only approved ground anchors capable of resisting at least minimum load given in the chart. Follow the anchor's manufacturer's instruction. Be sure anchor augers are installed below frost line. During periods of frost heave, be prepared to lessen tension on the straps. If over-the-roof straps are provided with the home, they must be reinstalled.

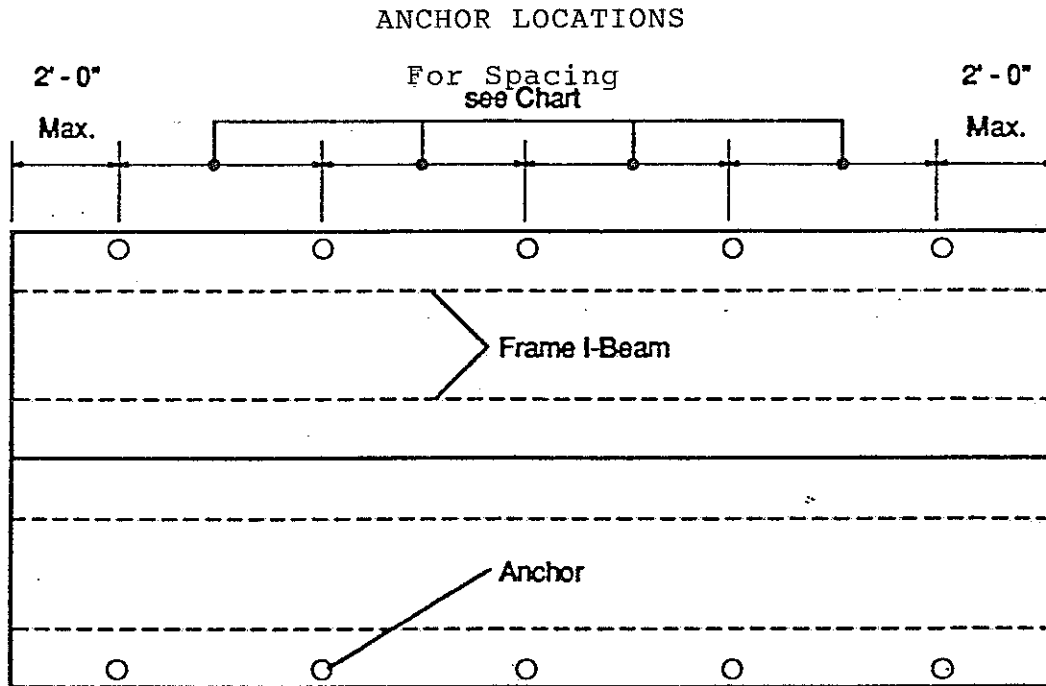
SPACING & LOAD CHART

Strap Method	Anchor Min. Load Capacity	Maximum Anchor Space for Zone I
Single Strap	4725 lbs.	11' - 0"
Double Strap	4725 lbs. ¹	11' - 0" ²

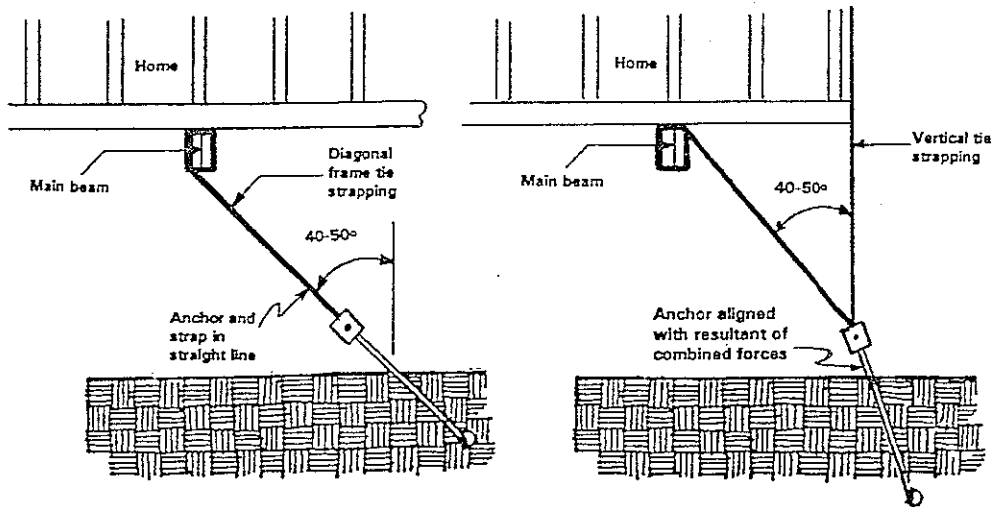
Notes: ¹Unless listed/labeled for a higher capacity by the anchor manufacturer
²Unless a greater spacing is specified by the anchor manufacturer.

The spacing for the ground anchors shall begin no further than 2 feet from each end of the home (see example).

EXAMPLE ONLY



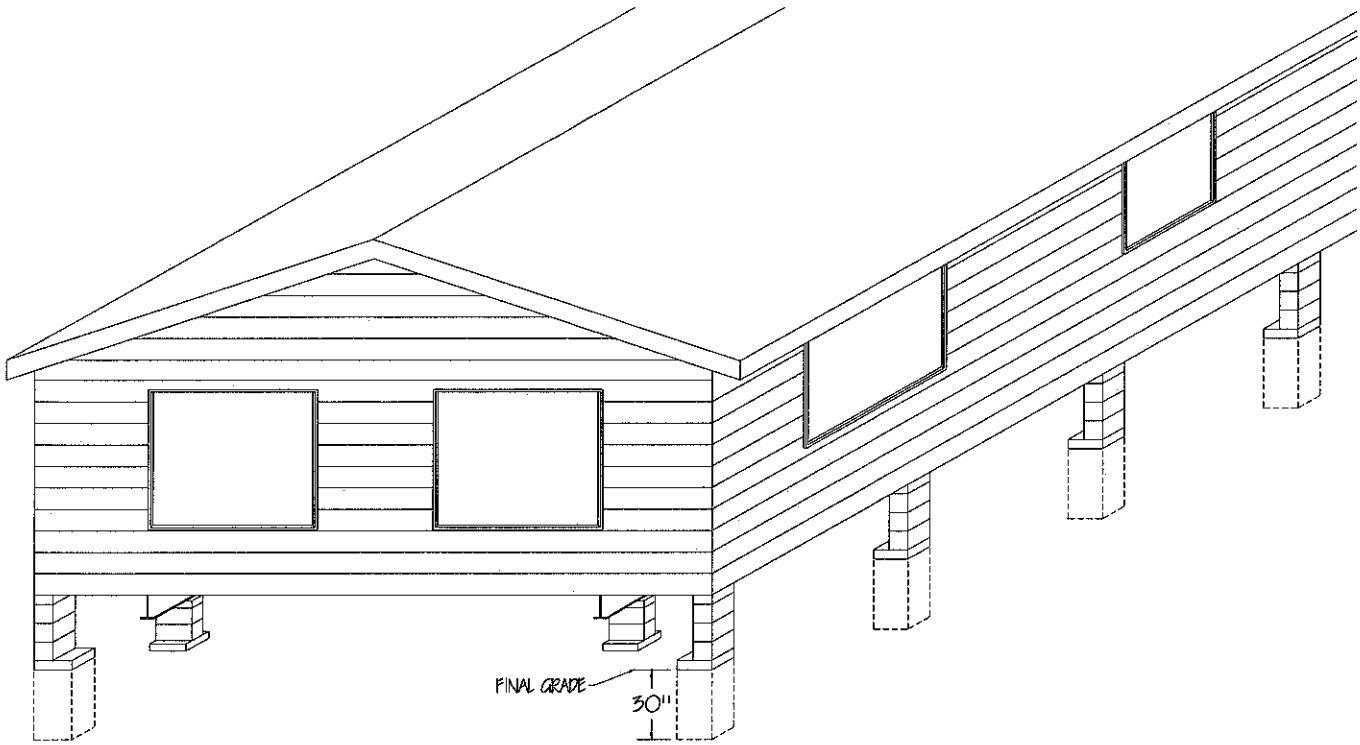
Proper Alignment of Straps and Anchors



a) Diagonal ties only

b) Diagonal and vertical ties

MOBILE HOME BLOCKING DETAILS



PERIMETER BLOCKING

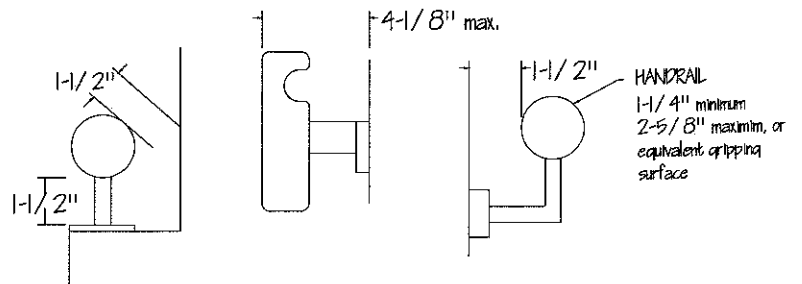
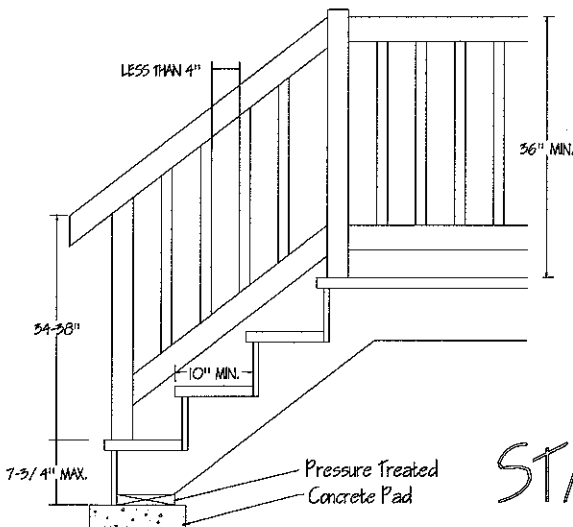
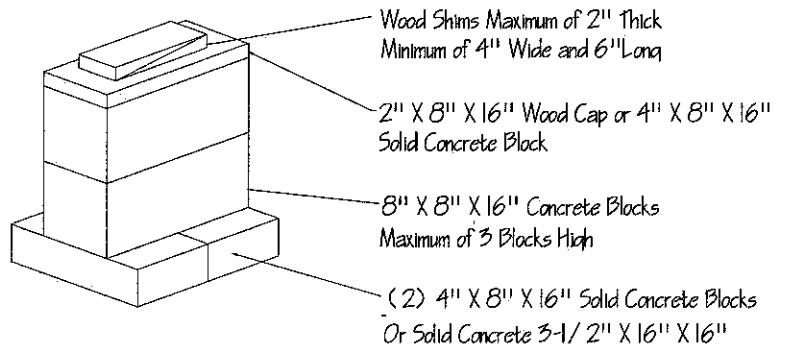
WAC 296-150B-230

If a Mobile Home requires footings on its exterior perimeter, the footings shall be installed below the frost line. Footings for the main frame longitudinal members must be recessed only if frost heave is likely to occur.

STEVENS COUNTY ORDINANCE O2-1984 (1.4.13)

FROST LINE: 30" BELOW FINISH GRADE

DECKS & PORCHES SHALL BE SELF-SUPPORTING



STAIR & HANDRAIL DETAILS