



FOCUS

DIRECTOR'S CORNER

Inside this issue:

Inspector Gadget	2
Field Notes: Weatherize! Window Flashing	2
WRIA Update-Water Rights Workshops	3
Front Desk: Permit Activity & Inspection Schedule Change	4

Winter months, lots of snow, below freezing/below zero temperatures and days when it was difficult or even impossible to reach construction sites. Working outdoors in cold and icy weather conditions is not only physically difficult, it reduces efficiency and can be dangerous. Unless the construction work you have lined out includes protected indoor work, the winter months can mean reduced work schedules. This leaves us with time to pursue other interests, including educational opportunities to improve our craft.

There are some problem areas in the construction field that come up frequently during the inspection process. Building Division staff are putting their heads together and focusing on how to help construction crews understand both the reason why these problems occur and provide a way to help “build it right the first time”.

This winter, the Stevens County Building Division will be sponsoring workshops for contractors, owner-builders or anyone with an interest in construction techniques. Our hope is to provide educational opportunities during the slower winter months, when we have time to work on our business, rather than in it. Training and comprehension increases efficiency

and reduces delays in your construction schedule. We hope that the workshops will foster communication and an exchange of ideas and information between all of us who work in the construction industry.

The first workshop to be offered will address one of the most commonly misunderstood issues in the framing of a building: **ALL ABOUT ROOF TRUSS PERMANENT BRACING.**

- ◆ How to read the details on roof truss design drawings
- ◆ Methods to accomplish the bracing
- ◆ Why the correct bracing technique is so important
- ◆ Examples of different types of bracing requirements, and techniques to accomplish this necessary and important part of insuring the strength of your structure.

There will be time for questions and discussion about truss bracing as well other subjects of concern to our industry. Bring your experience to the table!

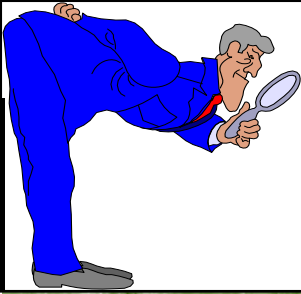
Please plan to attend and help make this FREE WORKSHOP a success for everyone!

WHAT: ALL ABOUT ROOF TRUSS PERMANENT BRACING

WHERE: STEVENS COUNTY AMBULANCE BUILDING TRAINING ROOM
425 NORTH HIGHWAY in COLVILLE (by the North Round-About next to Ronnie D’s Drive-In)
Parking is available at front or rear of building.

WHEN: THURSDAY, FEBRUARY 26, 2009

TIME: 1:00 P.M. TO 3:00 P.M.



INSPECTOR GADGET: BUILDING CODE CONNECTIONS

By Ken Alexander

PROVIDING CODE INFORMATION AND ANSWERING QUESTIONS FROM THE CONSTRUCTION FIELD.

QUESTION: I would like to use an “S” trap for my kitchen sink drain. Is this type of trap allowed?

ANSWER: *No. Section 1004.0 Uniform Plumbing Code “S” traps, bell traps, and crown-vented traps shall be prohibited.*

QUESTION: Is it allowable to attach my deck with the use of 6 - 16d common nails per joist to the rim joist of the home?

ANSWER: *No. Section R502.2.2 International Residential Code 2006 Where supported by attachment to an exterior wall, decks shall be positively anchored to the primary structure and designed for both vertical and lateral loads as applicable.*

Such attachment shall not be accomplished by the use of toenails or nails subject to withdrawal.

QUESTION: I am beginning to install the floor joists in my new home. Do I have to block the joists over the center bearing wall?

ANSWER: *Yes. Section 502.7 International Residential Code 2006 Lateral restraint at supports. Joists shall be supported laterally at the ends by full-depth solid blocking not less than 2 inches (51 mm) nominal in thickness; or by attachment to a full-depth header, band or rim joist, or to an adjoining stud or shall be otherwise provided with lateral support to prevent rotation.*

FIELD NOTES: Weatherize! Window Flashings & House Wraps by Mike Clash



Winter weather, with rain, sleet and snow, brings to mind the constant concern of buildings and water. Water in its many forms (solid, liquid and gas) is one of the biggest impacts to the longevity of a structure. The control of the solid form (i.e., ice dams on the roof) is not often a concern with newer homes, now that new framing techniques such as raised-heel trusses and better insulation has all but eliminated the problem of heat loss at the corner of the wall and ceiling. This winter’s heavy snow fall demonstrated which homes have heat loss problems—just look for the large icicles at the eaves!

Water as gas (or vapor) is probably the least understood form of water intrusion, perhaps because most of the time it’s invisible and we only notice after it has changed form and become solid or liquid (frost or condensation). The vapor retarder [on the interior (warm side) in our climate] helps keep the water vapor from passing into the wall cavity and causing problems. With the use of exhaust fans in the water producing zones of the house, and sealing air leaking through to the wall cavity, we can control the indoor humidity levels while keeping the water out of the walls and ceiling.

Generally, the worst water damage to a structure originates outside the house and finds its way in. While everyone is familiar with the need for a roof to resist water, we give less thought to the movement of water through walls. Think of windows as vertical skylights. If improperly flashed, water can get through the sides and tops. Ever notice how skylights on the roof have the lower flanges/flashing exposed so water can escape? The same holds true for regular wall-framed windows.

Field Notes Continued on Page 3



Field Notes Continued:

The top of the window is not always given the attention it deserves. A little dab of caulk is applied and then the window or trim is nailed on. How long is that caulk joint going to last? Probably not as long as the siding or window. Over time, some of the standard methods of flashing and installing windows has evolved into thinking that caulking will solve all the problems. Don't count on it! Simply caulking the connection probably won't meet the window manufacturer's warranty specifications, nor the current Building Code which now requires that windows be installed in accordance with their manufacturer's guidelines. The use of sticky tape/house wrap also requires the proper tiling of flashing to direct water out and away from the wall. When in doubt, flash according to your window manufacturer guidelines.

Another change in Building Code is the need for a weather resistant barrier (15# felt or one of the various house wraps on the market) under all type of sidings. This includes single wall panel siding such as T1-11 which needs a little more thought and flashing detail to conform to accepted installation practices.

TIP: Most of the window manufacturers and the APA (American Plywood Association) have web sites with pictures and details on the installation of house wraps and flashings.

Are you building a "multi-unit residential building"? A recent condo project brought our attention to a Washington State law effective in August 2005 (RCW 64.55) that require "building enclosure design documents" and "inspection by a qualified inspector". A multi-unit residential building has several definitions in the law, including a building containing two or more attached dwelling units, and it excludes hotels and motels, dormitories and care facilities. You may be wondering "why do I care?" Or "what am I talking about?" The law stipulates that the building department shall not issue a building permit for the construction of the building without stamped design documents for the building enclosure. The compliance issues are similar to those identified in the International Residential Code (IRC) for the building wrap and flashings, which are usually looked at in conjunction with other required inspections. Just wanted to point out the specific inspection requirement on the "multi-unit" buildings.

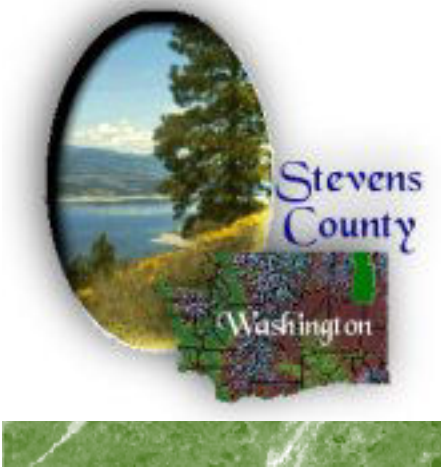
Perfectly clear? The building industry is always evolving to address new materials, environmental effects and life/safety situations. The Building Code does the same through the review process for code changes. We're always available to discuss the code language, requirements, or just what makes sense.

Water Storage / Water Rights Information Workshops

In 1970, the estimated population of Stevens County was 17,405. According to the Office of Financial Management's (OFM) post-census estimates, the 2009 population estimate for the County will be 45,673. In the last 39 years, the population of Stevens County has nearly tripled. When considering this rate of growth, together with the fact that the Colville River Watershed has been a 'closed watershed' for new water allocations since 1977, planning for future water supplies is critical for all who reside within the Colville River Watershed. The WRIA 59 Water Resource Management Board (WRIA 59 Board) is actively pursuing research and development of water supplies to meet the current and future growth and economic needs of this area.

The WRIA 59 Board will be holding a series of workshops this spring on Water Storage / Water Rights Information, as an educational outreach opportunity for Stevens County. The workshops will provide information on various types of water storage projects, funding options, basic water rights information, and understanding the important roll that stored water can play in providing future water supplies for rural families, farms, businesses, industries, and cities within the watershed.

For more information on the upcoming workshops and other watershed planning activities, contact the Stevens County Watershed Planning Office at (509) 685-2832, or at the Courthouse Annex Building, located at 215 South Oak Street in Colville.



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THE FRONT DESK

The building inspectors continued to have full inspection schedules nearly every day, right up to the snows of December. **Please Note:** If you have a project currently under construction, be sure to call early for your inspections. *Until further notice, inspection days for North and South County will be Monday, Wednesday and Friday only.*

POTABLE WATER CERTIFICATION: State Building Code Chapter RCW19.27 has required since 1991 that "each applicant for a building permit of a building necessitating potable water shall provide evidence of an adequate water supply..." It is clear that water information needs to be provided when raw land is being developed for new construction but what about some other situations on properties with existing development?

Potable water certification when applying for a permit ***IS NOT REQUIRED IF:***

- ◆ A building permit or manufactured home permit was applied for and issued since 1991.

Potable water certification when applying for a permit ***IS REQUIRED IF:***

- ◆ An existing home [including temporary living quarters] was built or placed without a permit (at any time).
- ◆ Replacement of an existing home built or placed prior to 1991, even with a permit. No evidence of an adequate water supply was required prior to that date, so documentation has never been submitted.
- ◆ People have been staying or living on the property in RV's, with or without water connection.

BUILDING PERMIT TOTALS	S.F. RESIDENCE	MULTI-FAMILY	MANUFACTURED HOMES	COMMERCIAL-INDUSTRIAL	PUBLIC	RES. ADDITIONS	RES. REMODELS	OUTBUILDINGS	O/B EXEMPTIONS	OTHER	MECHANICAL	PERMIT TOTAL	VALUATION TOTALS	FEE TOTALS
YEARLY TOTAL FOR 2008	115	6	101	30	7	63	21	61	25	27	258	714	\$ 45,036,721.86	\$461,290.68
YEARLY TOTAL FOR 2007	210	2	118	29	6	65	33	77	27	31	363	961	\$ 61,279,799.55	\$ 595,954.68
YEARLY TOTAL FOR 2006	177	1	111	37	6	54	25	58	29	18	279	795	\$ 46,936,342.58	\$ 473,561.90